

PROJECT NARRATIVE

Red Mountain Business Park

3410 North Higley Road

This project will include six buildings for five different users. The business' and the property are light industrial per the Mesa General Plan. The buildings walls will be constructed of Tilt Concrete Panels. All buildings will be protected with fire sprinklers. Each building will have a yard for storage.

The proposed uses of the buildings are as follows:

Building 1 will be a restoration company. They will service homes and business' that have had fire, flood, or other inconveniences happen to them. They also store items in containers.

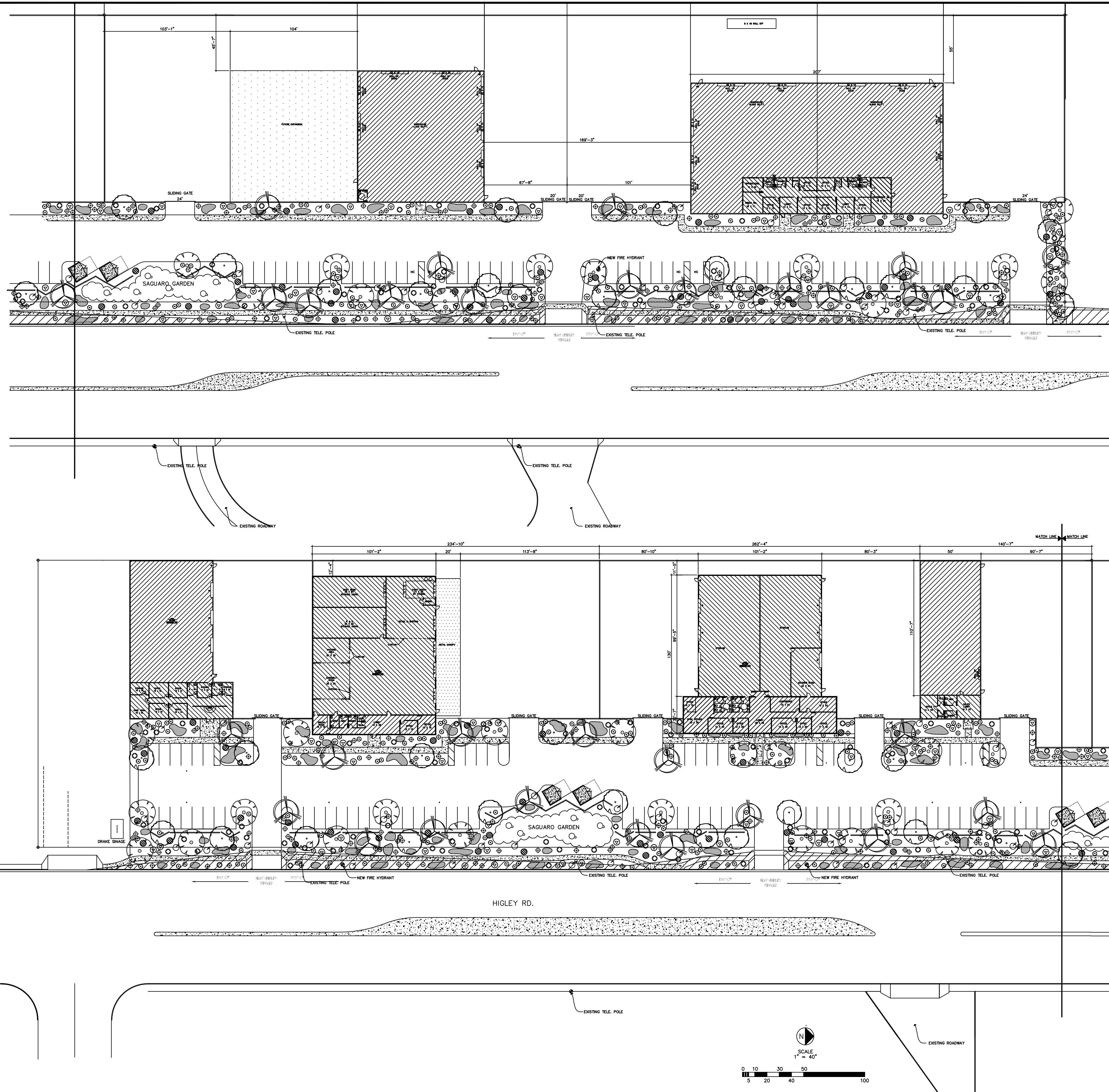
Building 2 will be a automotive restorer. They mostly work on vintage and sport cars.

Building 3 will be like the user of Building 1 but more on the residential side.

Building 4 is proposed to be a plumbing contractor

Buildings 5 & 6 will be used by a company called the Christmas Light Decorators. As their name suggest they install Christmas lights and decorate for other occasions. They service large companies and cities. They mostly store the materials but do some repairs upon the return of the materials to the shop. This user is looking to move in by the end of December so that he can bring his materials back to the new building instead of having to move them.

The property is very long and narrow. We have adjusted the alignment of the front of the buildings so as not to be in a straight line.



PLANT LEGEND

SYMBOL	COMMON / BOTANICAL NAME	EMMITERS / TYPE
TREES:		
	SISSOO TREE DALBERGIA SISSO	4/T
	EVERGREEN ELM ULMUS PARVIFLUA "TRUE GREEN"	4/T
	SHOESTRING ACACIA ACACIA STENOPHYLLA	4/T
	SAGUARO ON SITE MATURE SAGUAROS TO BE SAVED AND RE PLANTED AS SHOWN	
SHRUBS:		
	BOXWOOD BEAUTY MATAL PLUM CARRISA GRAND "BOXWOOD BEAUTY"	2-3/S
	DESERT CARPET ACACIA ACACIA REDOLENS "DESERT CARPET"	2-3/S
	RED YUCCA HESPERALOE PARVIFLORA	2-3/S
	DWARF PURPLE BOUGAINVILLEA BOUGAINVILLEA "MONETH"	2-3/S
	DWARF ROSENKA BOUGAINVILLEA BOUSANVILLEA "ROSENKA"	2-3/S
	MEXICAN BIRD OF PARADISE CAESALPINIA PULCHERRIMA	2-3/S
GROUND COVER:		
	GAZANIA DAYBREAK TIGER STRIPES MIXED GAZANIA RIGENS	1 /G.C.

GENERAL LANDSCAPE NOTES

ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE "ARIZONA NURSERY ASSOCIATION-RECOMMENDED TREE SPECIFICATIONS" SEE SECTION 1903(6)(g).

CONTRACTOR MAY NEED TO USER LARGER SIZE CONTAINERS TO ACHIEVE MINIMUM SIZES. THIS IS TO BE DONE AT NO ADDITIONAL CHARGE TO OWNER.

IF THERE ARE ANY CONFLICTS BETWEEN THESE PLANS, DETAILS, AND NOTES AND THE WRITTEN SPECIFICATIONS; THE PLANS, DETAILS AND NOTES SHALL PREVAIL.

IN ORGANIC GROUND COVER TO BE MIN. 2" DECOMPOSED GRANITE 1/2" SCREENED. COLOR: 'EXPRESS BROWN'

NO PLANT SUBSTITUTIONS, TYPE OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL.

ALL RIGHT-OF-WAY PLANT MATERIAL TO BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES LOW WATER USE/ DROUGHT TOLERANT PLANT LIST. FOR THE PHOENIX ACTIVE MANAGEMENT AREA.

REFER TO NOTES, DETAILS AND ARCHITECTURAL/ENGINEERING DRAWINGS

SEE CIVIL DRAWINGS FOR LEGAL DESCRIPTION.

STREET LIGHTS IN R.O.W. ARE EXISTING.

REQUIREMENTS	R.O.W. HIGLEY	ADJACENT NORTH	INTERIOR PARKING	FOUND PLANTS
	SHRUBS TREES	SHRUBS TREES	SHRUBS TREES	
SIZE	1 PER 25'	6 PER 25'	5 PER 100'	1 PER 50'
AREA	25% 36" / 50% 24"	50% @ 24"	NO SPECS	10% 36" / BAL 24"
REQUIRED	63 TREES	378 SHRUBS/ 578 SHRUBS	6 TREES	33%
PROVIDED	63 TREES	378 SHRUBS/ 578 SHRUBS	6 TREES	33%

REVISIONS	DATE	DESCRIPTION

C.E.W Associates LLC
ARCHITECTURE, DESIGN
 1908 N ROSEMONT MESA, AZ 85205
 TELEPHONE (480) 243-7319 FAX (480) 497-4307
 cewassociates@yahoo.com

RED MOUNTAIN BUSINESS PARK
3410 N HIGLEY
MESA, AZ 85205

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LANDSCAPE PLAN
ARCHITECTURAL DRAWINGS

BY: DATE:

L-1

FILE NO. X-XXX

RED MOUNTIAN BUSINESS PARK

3416 N. HIGLEY RD
MESA, ARIZONA 85205

REVISIONS

DATE: _____
DESCRIPTION: _____

C.E.W. ASSOCIATES LLC
ARCHITECTURE DESIGN
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TEL: (480) 248-7314
email: cewassociates@yahoo.com

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MESA, AZ 85205

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COVER SHEET
ARCHITECTURAL DRAWINGS

BY: _____ DATE: _____

G-1

FILE NO. X-XXX

PROJECT DATA

OWNER:	HIGLEY LAND INVESTMENTS LLC 1908 N. ROSEMONT MESA, AZ 85208
PROJECT ADDRESS:	3410 N. HIGLEY ROAD MESA, ARIZONA 85205
PARCEL NUMBER:	141-37-001D
ZONING:	U
TYPE OF CONSTRUCTION:	IX - B (AUTO. FIRE EXTING. SYS.)
SITE AREA:	387,131 SQ/FT 4.477 ac
ALLOWABLE AREA PER BLDG. (PER IBC TABLE 503)	SQ. FT. BASE AREA = 8,500 SQ/FT MAX HEIGHT = 40 FT.
AREA INCREASE PER BLDG. (PER IBC 506.3)	0, 8,500 S/F x 300% = 25,500 SQ/FT
BUILDING HEIGHT:	32'-0"
BUILDING AREA ALL BLDGS:	OFFICE AREA 10,864 SQ/FT SHOP 16,633 SQ/FT WAREHOUSE 61,508 SQ/FT TOTAL BUILDING AREA: 89,005 SQ/FT CANOPIES 1,920 SQ/FT TOTAL SQUARE FOOTAGE: 90,925 SQ/FT
PARKING REQUIRED ALL BLDGS:	OFFICE AREA 10,864 / 375 29 SPACES SHOP 16,633 / 600 28 SPACES WAREHOUSE 61,508 / 900 68 SPACES TOTAL REQ'D 125 SPACES
PARKING PROVIDED TOTAL:	REGULAR PARKING 148 SPACES ACCESSIBLE PARKING 7 SPACES TOTAL PROVIDED: 155 SPACES
LANDSCAPE AREA TOTAL:	ON-SITE 51,448 SQ/FT OFF-SITE 26,380 SQ/FT TOTAL LANDSCAPE AREA: 77,828 SQ/FT AREA PERCENT (%) COVERAGE 20.0 %

NO OFF-SITE RETENTION REQ'D

NO ON-SITE RETENTION REQ'D SLOPE RUNOFF TO QUARY PIT ON WEST.

C = (0.85) RUN-OFF COEFFICIENT
D = (2.2") RAINFALL DEPTH
A = (1.02ac) DRAINAGE AREA

ON-SITE REQUIRED TOTAL AREA: 387,436 SQ/FT
8,894 ac

$$\frac{A}{C} \times D \times \frac{C}{D} \times \frac{D}{12} = V$$

DESERT LANDSCAPING	51,448 SQ/FT	x 0.50	x 2.2/12	4,707 C.F.
ROOF AND CONC.	89,666 SQ/FT	x 0.95	x 2.2/12	15,414 C.F.
CONC. PAVING	247,322 SQ/FT	x 0.95	x 2.2/12	42,997 C.F.
TOTAL REQUIRED RETENTION:				63,118 C.F.
PROVIDED TOTAL PROVIDED RETENTION:				78,438,750 C.F.

QUARY PIT

SCOPE OF WORK

PROJECT CONSISTS OF 1 PARCEL OF LAND ON THE WEST SIDE OF HIGLEY ROAD ON THE SOUTH SIDE OF AZ 202 NORTH LOOP OF APPROX. 8.887 ACRES. THIS PROPERTY TO BE DIVIDED INTO FIVE PARCELS. CONSTRUCTION OF MULTIPLE SHELL BUILDING w/ ALL SITE WORK, INCLUDING SITE IMPROVEMENTS, PAVING, WATER RETENTION, LANDSCAPING, UTILITIES, AND ALL BUILDINGS TO HAVE, ALL STRUCTURAL INSTALLED. WAREHOUSE AREAS ARE FOR STORAGE AND SHOPS, OFFICES ARE FOR BUSINESS FIRE PROTECTION AND SIGNAGE PER SEPERATE PERMITS.

BUILDING #1	OFFICE	1,976 SQ/FT
	WAREHOUSE	6,639 SQ/FT
	TOTAL	8,615 SQ/FT
BUILDING #2	OFFICE	1,542 SQ/FT
	SHOP	11,290 SQ/FT
	CANOPY	1,920 SQ/FT
	TOTAL	14,752 SQ/FT
BUILDING #3	OFFICE	2,942 SQ/FT
	WAREHOUSE	9,883 SQ/FT
	TOTAL	12,825 SQ/FT
BUILDING #4	OFFICE	920 SQ/FT
	SHOP	5,343 SQ/FT
	TOTAL	6,263 SQ/FT
BUILDING #5	WAREHOUSE	11,248 SQ/FT
	FUTURE EXPANSION	11,248 SQ/FT
	TOTAL	22,496 SQ/FT
BUILDING #6	OFFICE	3,484 SQ/FT
	WAREHOUSE	19,012 SQ/FT
	TOTAL	22,496 SQ/FT

LOCAL CODES:

LOCAL CODES:	IBC, IPC, IMC, IFGC, IFC	2006
	NEC	2005
	IECC	2009
	ADA	2010
SPECIAL INSPECTIONS:	BOLTS IN TILT SLAB CONC. WELDING EPOXY GROUTING EXPANSION BOLTS REINF. STEEL IN TILT SLAB CONC.	

CONSULTANTS

ARCHITECT	STRUCTURAL ENGINEER
C.E.W. ASSOCIATES LLC	BRODERIC ENGINEERING LLC
1908 NORTH ROSEMONT MESA, ARIZONA 85205 (480) 243-7319	6859 EAST REMBRANDT AVE SUITE 124 MESA, ARIZONA 85212 (480) 926-6333
CONTRACTOR	FIRE PROTECTION ENGINEER
DCSJ LLC	HEIDEMAN ASSOCIATES LLC
1908 NORTH ROSEMONT MESA, ARIZONA 85205 (480) 218-6925	4970 EAST BEVERLY ROAD PHOENIX, ARIZONA 85044 (602) 255-0105

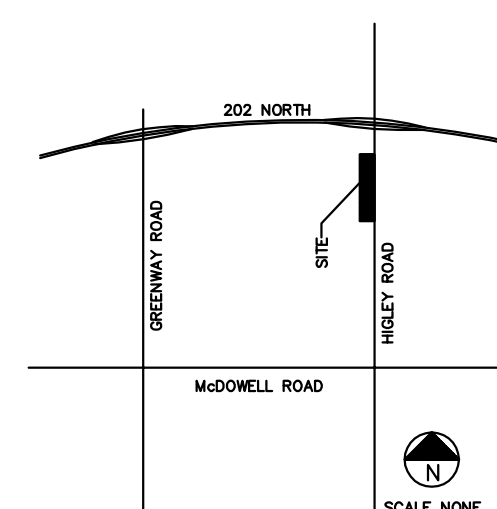
REFERENCES

GENERAL LAND OFFICE RECORDS ON FILE WITH U.S. DEPARTMENT OF THE INTERIOR
BUREAU OF LAND MANAGEMENT
FINAL PLAT OF "LONGBOW BUSINESS PARK AND GOLF CLUB" RECORDED IN BOOK 829 OF MAPS, PAGE 44, MARICOPA COUNTY RECORDS.
MARICOPA COUNTY GEODETIC DENSIFICATION AND CADASTRAL SURVEY IN BOOK 661 OF MAPS, PAGE 17, MARICOPA COUNTY RECORDS.

LEGAL DESCRIPTION

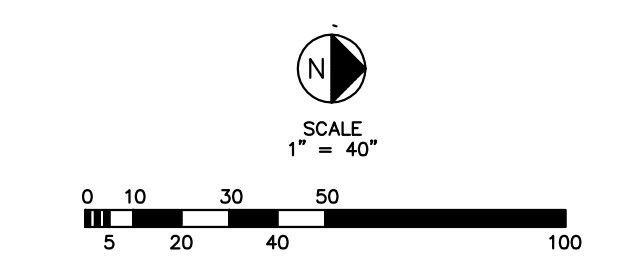
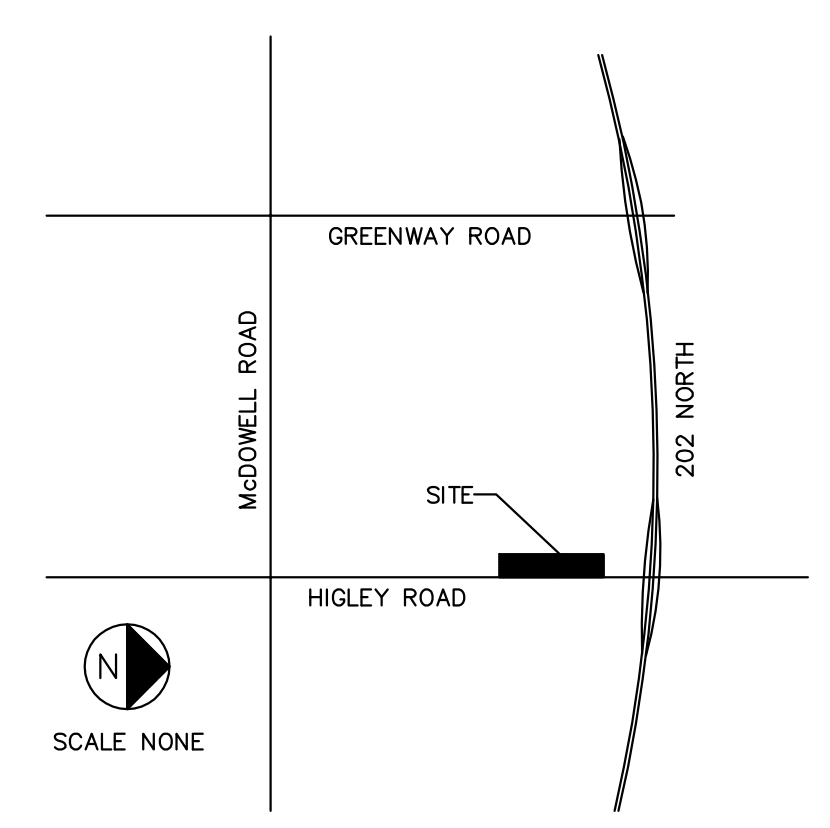
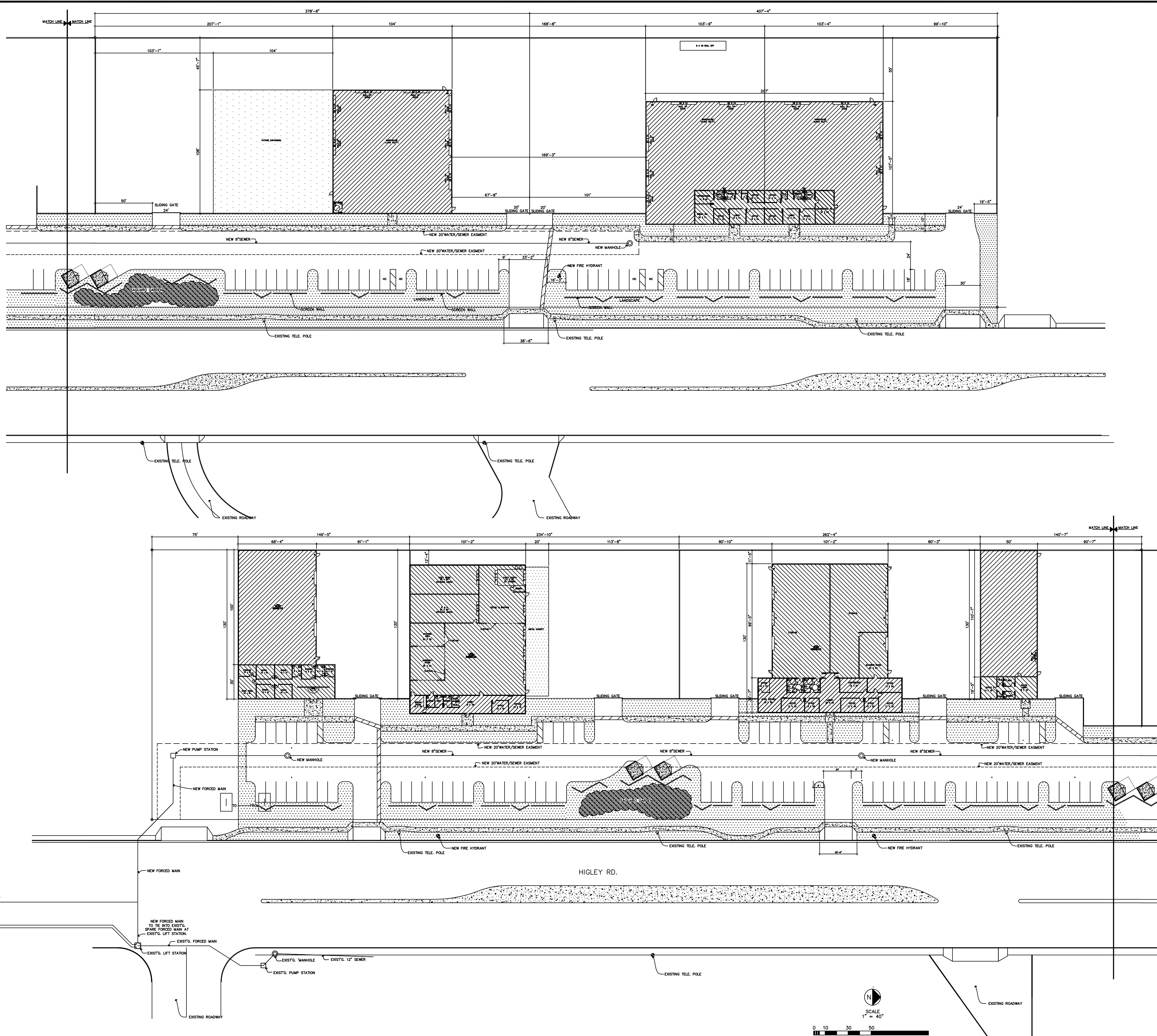
EXHIBET A
THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF MESA, COUNTY OF MARICOPA, STATE OF ARIZONA AND IS DESCRIBED AS FOLLOWS:
A PARCEL OF LAND SITUATED IN A PORTION OF THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 2 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE MERIDIAN, MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 34,
THENCE SOUTH 00 DEGREES 29 MINUTES 07 SECONDS WEST, ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 34, A DISTANCE OF 1045.01 FEET
THENCE NORTH 89 DEGREES 30 MINUTES 53 SECONDS WEST, A DISTANCE OF 65.00 FEET TO THE TRUE POINT OF BEGINNING.
THENCE SOUTH 00 DEGREES 07 SECONDS WEST ALONG A LINE 65.00 FEET WESTERLY OF AND PARALLEL WITH SAID EASTERLY LINE, A DISTANCE OF 1646.59 FEET TO A POINT ON THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 34;
THENCE NORTH 88 DEGREES 55 MINUTES 24 SECONDS WEST ALONG SAID SOUTHERLY LINE, A DISTANCE OF 235.01 FEET.
THENCE NORTH 00 DEGREES 29 MINUTES 07 SECONDS EAST ALONG A LINE 300.00 FEET WESTERLY OF AND PARALLEL WITH SAID EASTERLY LINE A DISTANCE OF 1648.27 FEET;
THENCE SOUTH 89 DEGREES 30 MINUTES 53 SECONDS EAST A DISTANCE OF 235.00 FEET TO THE TRUE POINT OF BEGINNING.
EXCEPT ANY IMPROVEMENTS LOCATED THEREON.

VACINITY MAP



LIST OF ABBREVIATIONS

A.I.C. ALT. INTERRUPTING CAPACITY	E.F. EXHAUST FAN
A.B. ANCHOR BOLT	EA. EACH
A.F.F. ABOVE FINISHED FLOOR	ELECT. ELECTRIC
ALT. ALTERNATE	ELEV. ELEVATION
ALUM. ALUMINIUM	EQ. EQUAL
AUX. AUXILIARY	EQUIP. EQUIPMENT
B.O. BOTTOM OF	E.W. EACH WAY
BD. BOARD	EXT. EXTERIOR
BLK'G. BLOCKING	F.C.O. FLOOR CLEAN OUT
BM. BEAM	F.D. FLOOR DRAIN
BOT./BOTTL. BOTTOM	F.E. FIRE EXTINGUISHER
BRZ. BRONZE	F.H. FIRE HYDRANT
C. CENTER LINE	FIN.FL./F.F. FINISH FLOOR
C./COND. CONDUIT	F.O.M. FACE OF MASONRY
CLG. CEILING	F.O.S. FACE OF STUD
COL. COLUMN	F.R.P. FIRE RATED PANELING
CONC. CONCRETE	F.S. FLOOR SINK
CONN. CONNECTION	FT. FOOT
CONT. CONTINUOUS	FTG. FOOTING
CONTR. CONTRACTOR	G.A. GAUGE
CTR. CENTER	GALV. GALVANIZED
C.W. COLD WATER	G.C. GENERAL CONTRACTOR
C.O.M. CITY OF MESA	G.P.M. GALLONS PER MINUTE
Ø. DIAMETER, PHASE	GRD. GROUND
DIA. DIAMETER, DIAGRAM	G.W. GREASY WASTE
DBL. DOUBLE	GYP. GYPSUM
D/T. DRIVE-THRU	HORIZ. HORIZONTAL
DWG. DRAWING	HT. HEIGHT
DTL. DETAIL	H.W. HOT WATER
I.D. INTERIOR DESIGN	H.D. HAND DRYER
INSUL. INSULATION	H.C. HANDICAP
L.L.H. LONG LEG HORIZONTAL	H.P. HORSE POWER, HIGH POINT
L.L.V. LONG LEG VERTICAL	H.W.C. HANDICAP WATER CLOSET
L.P. LOW POINT	R.D. ROOF DRAIN
LAV. LAVATORY	RECEPT. RECEPTACLE
LOC. LOCATE	REIN. REINFORCING
LG. LONG	REQ'D. REQUIRED
MAS. MASONRY	R.W.L. RAIN WATER LEADER
MAX. MAXIMUM	R.O.W. RIGHT-OF-WAY
MIN. MINIMUM	SQ. SQUARE
MTD. MOUNTED	S/S, S.S. STAINLESS STEEL
MTL. METAL	STL. STEEL
N.I.C. NOT IN CONTRACT	STRUCT. STRUCTURAL
O.C. CON CENTER	SURF.MTD. SURFACE MOUNTED
O.D. OUTSIDE DIM., OVERFLOW DRAIN	S.W. SAFE WASTE
O.H. OVERHANG	T&G. TONGUE AND GROOVE
O/O. OUT TO OUT	T.O.S. TOP OF SLAB
Ø. PHASE, DIAMETER	TYP. TYPICAL
PL. PROPERTY LINE, PLATE	UR. URINAL
PLYWD. PLYWOOD	VEN. VENEER
P.O.S. POINT OF SAIL	VERT. VERTICAL
PREFAB. PREFABRICATED	VEST. VESTIBULE
P.S.F. POUNDS PER SQ. FOOT	V.T.R. VENT THRU ROOF
P.S.I. POUNDS PER SQ. INCH	W. WIDE, WASTE
P.T. PRESSURE TREADED	W. WITH
PTN. PARTITION	W.C. WATER CLOSET
P.V.C. POLYVINYL CHLORIDE	W.C.O. WALL CLEAN OUT
	WD. WOOD
	W.H. WATER HEATER
	W.I.B. WALK IN BOX
	W.P. WATER PROOF
	W.W.F. WELDED WIRE FABRIC
	W.W.M. WELDED WIRE MESH



REVISIONS	
DESCRIPTION	DATE

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 cenassociates@yahoo.com

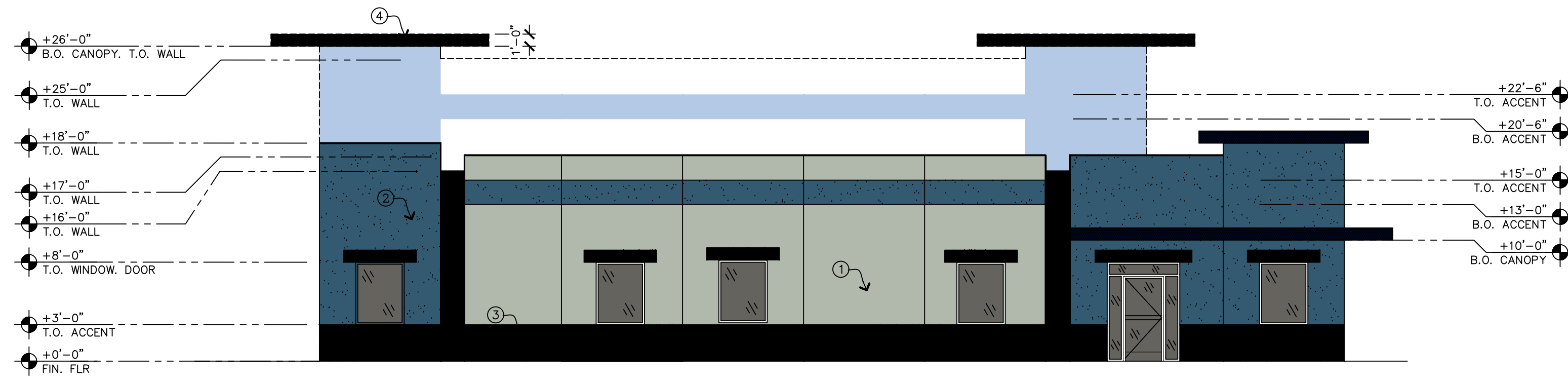
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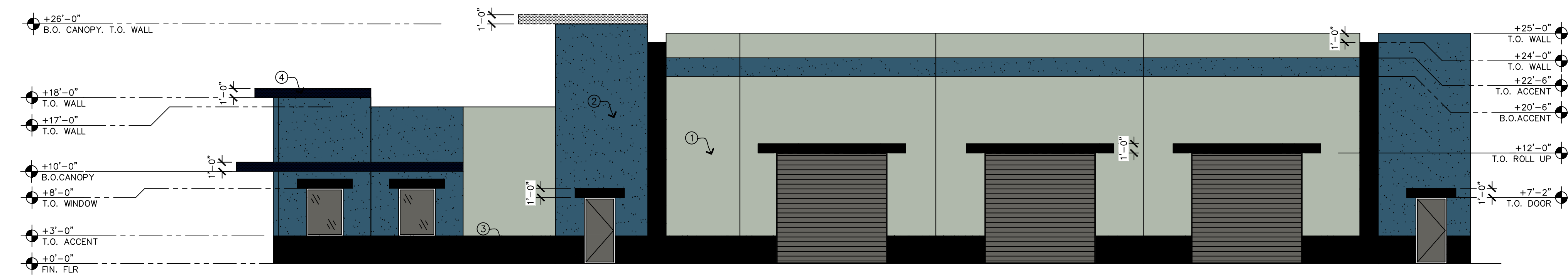
SITE PLAN
ARCHITECTURAL DRAWINGS

SD-1

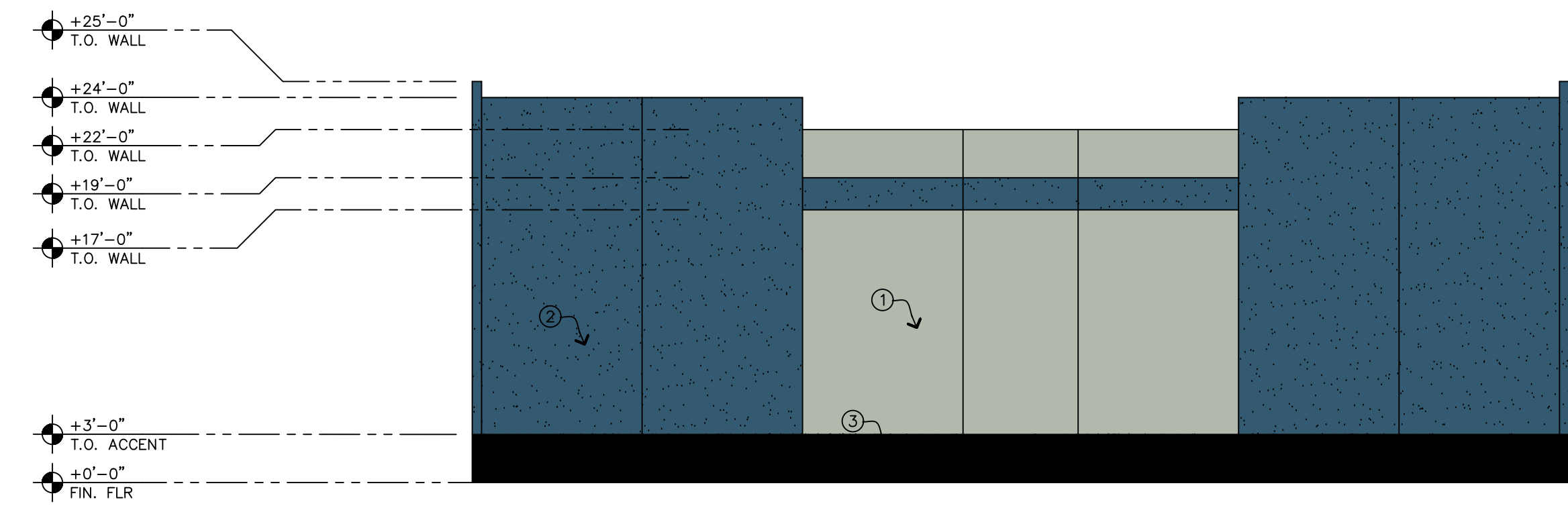
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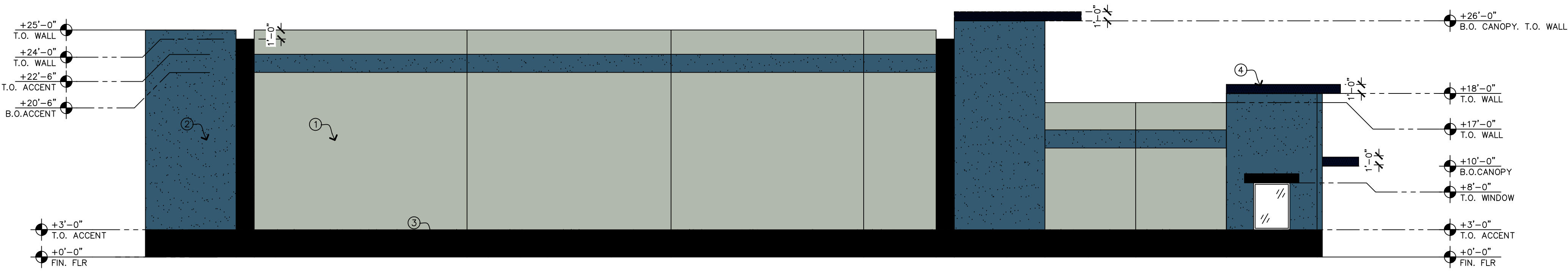
EAST ELEVATION BUILDING 1
SCALE: 1/8" = 1'-0" ①



NORTH ELEVATION BUILDING 1
SCALE: 1/8" = 1'-0" ①



WEST ELEVATION BUILDING 1
SCALE: 1/8" = 1'-0" ①



SOUTH ELEVATION BUILDING 1
SCALE: 1/8" = 1'-0" ①

COLOR SCHEDULE:

- ① BEHR — 730F 4M FLINT SMOKE
- ② VALSPAR — VR085B ISIS WEPT
- ③ VALSPAR — VR028A BLUEPRINT
- ④ MCBI SIGNATURE 200 COAL BLACK

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EXTERIOR ELEVATIONS
ARCHITECTURAL DRAWINGS

BY: XXX DATE: XXX

A-4

FILE NO. X-XXX

REVISIONS	DATE:

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EXTERIOR ELEVATIONS
ARCHITECTURAL DRAWINGS

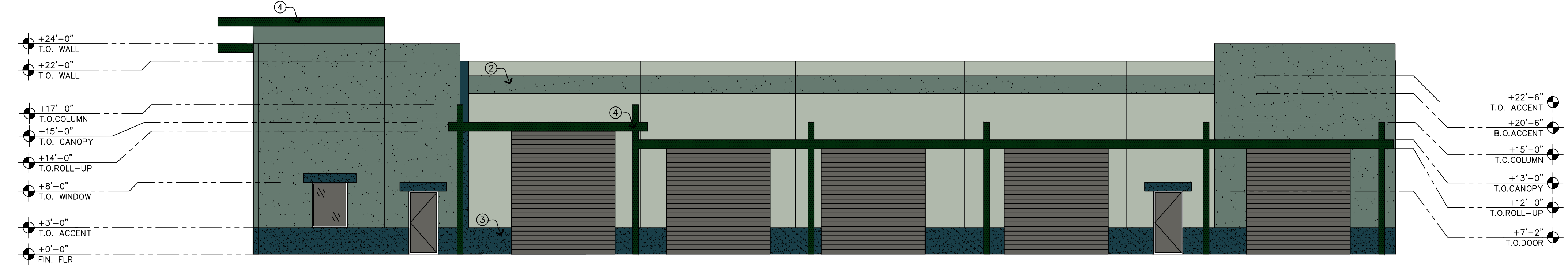
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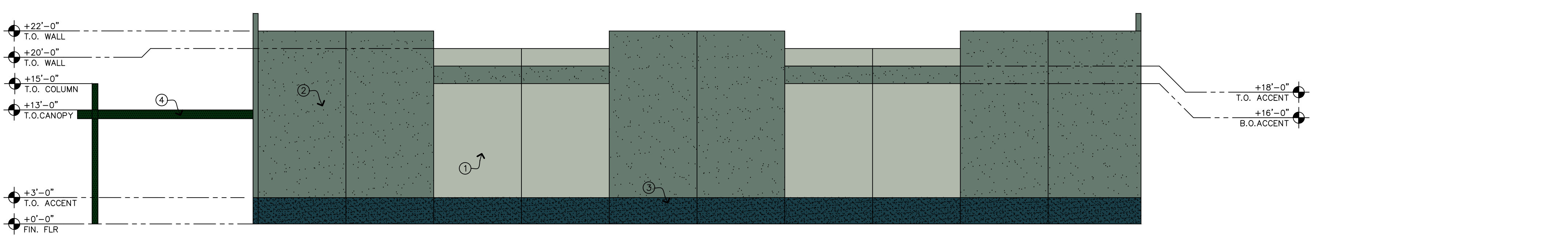
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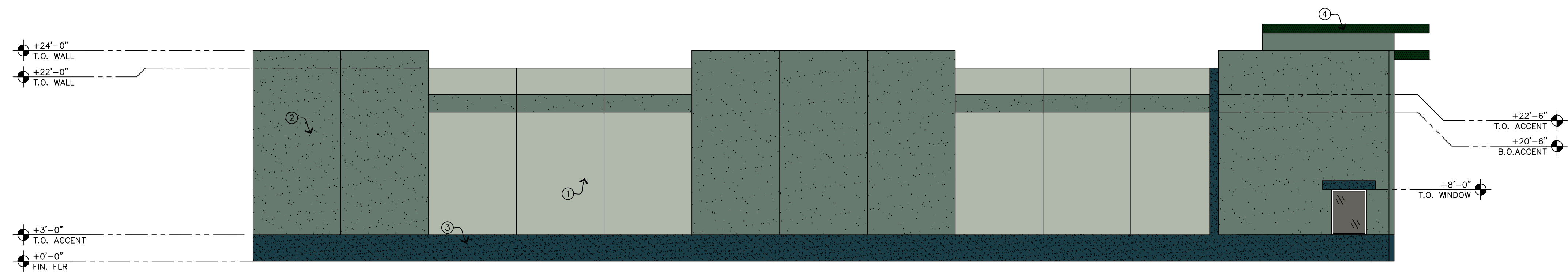
EAST ELEVATION BUILDING 2
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION BUILDING 2
 SCALE: 1/8" = 1'-0"



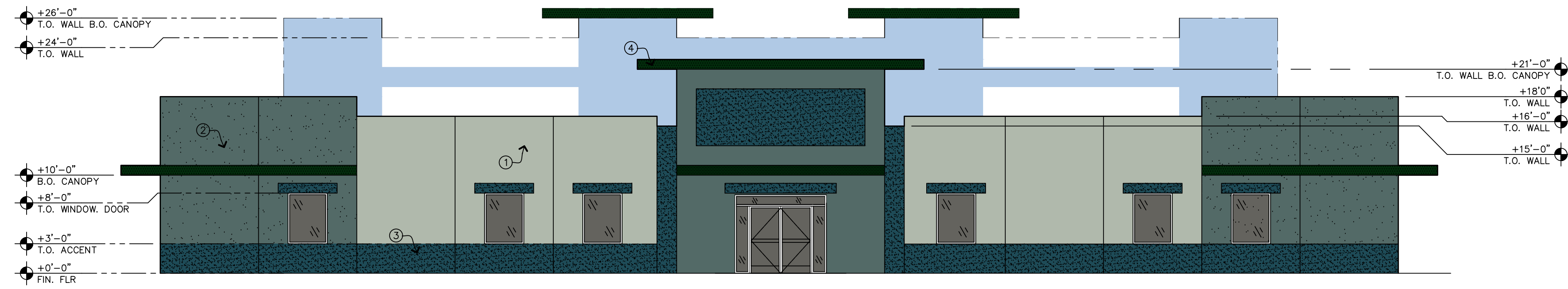
WEST ELEVATION BUILDING 2
 SCALE: 1/8" = 1'-0"



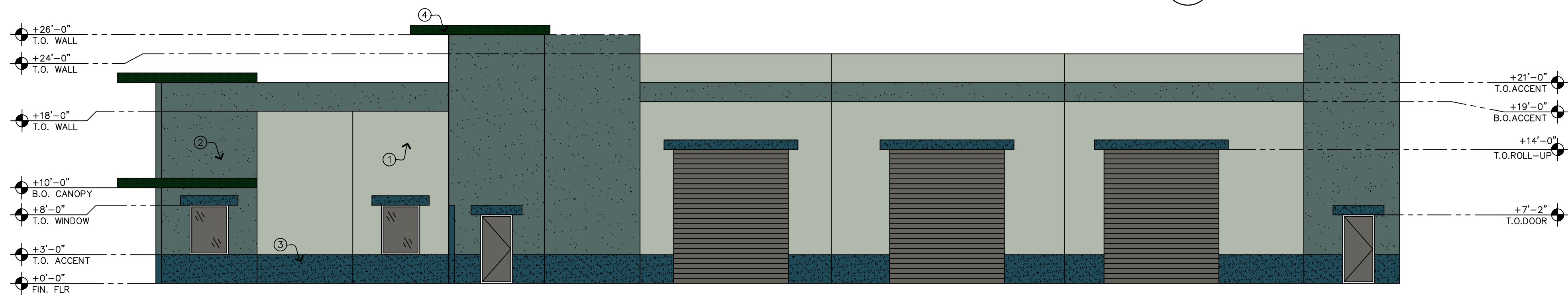
SOUTH ELEVATION BUILDING 2
 SCALE: 1/8" = 1'-0"

COLOR SCHEDULE:

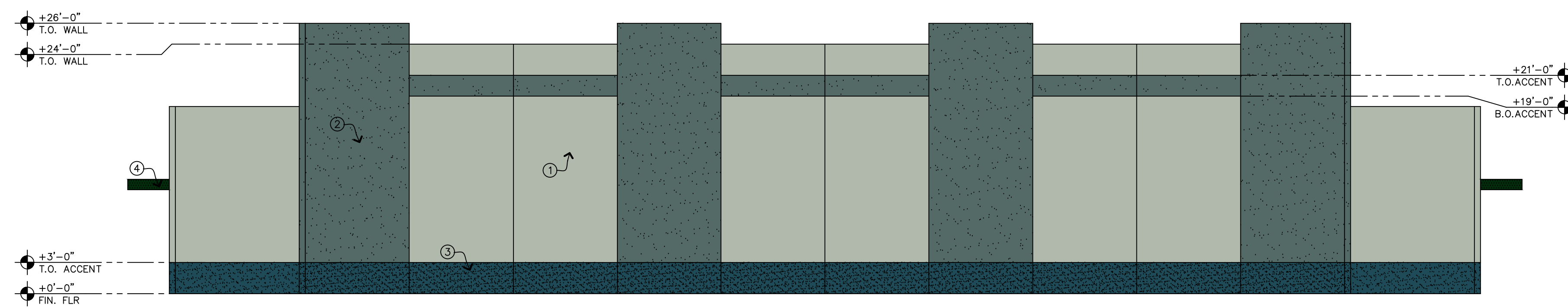
- ① BEHR – 730F 4M FLINT SMOKE
- ② VALSPAR – VR081B SULTRY BAY
- ③ VALSPAR – VR082A NIGHT SWIM
- ④ MBCI SIGNATURE 300 HUNTER GREEN



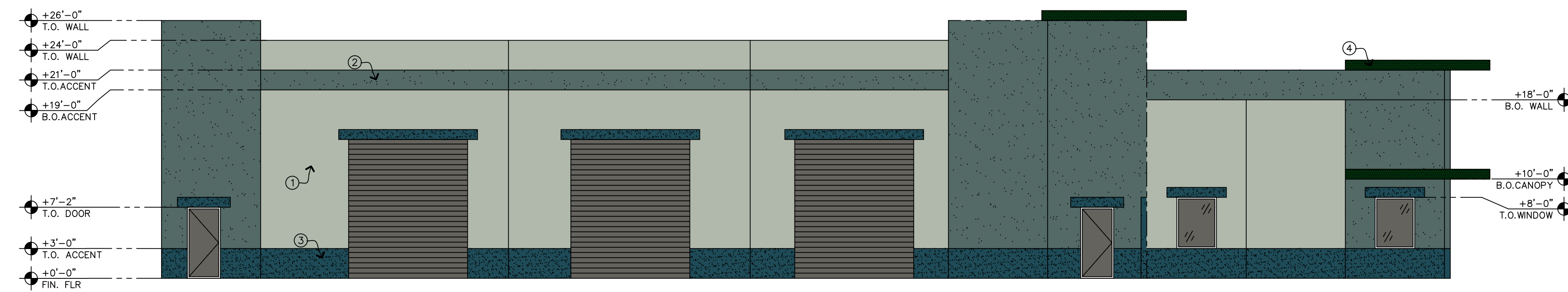
EAST ELEVATION BUILDING 3
SCALE: 1/8" = 1'-0" ①



NORTH ELEVATION BUILDING 3
SCALE: 1/8" = 1'-0" ①



WEST ELEVATION BUILDING 3
SCALE: 1/8" = 1'-0" ①



SOUTH ELEVATION BUILDING 3
SCALE: 1/8" = 1'-0" ①

COLOR SCHEDULE:

- ① BEHR – 730F 4M FLINT SMOKE
- ② VALSPAR – VR081B SULTRY BAY
- ③ VALSPAR – VR082A NIGHT SWIM
- ④ MBCI SIGNATURE 300 HUNTER GREEN

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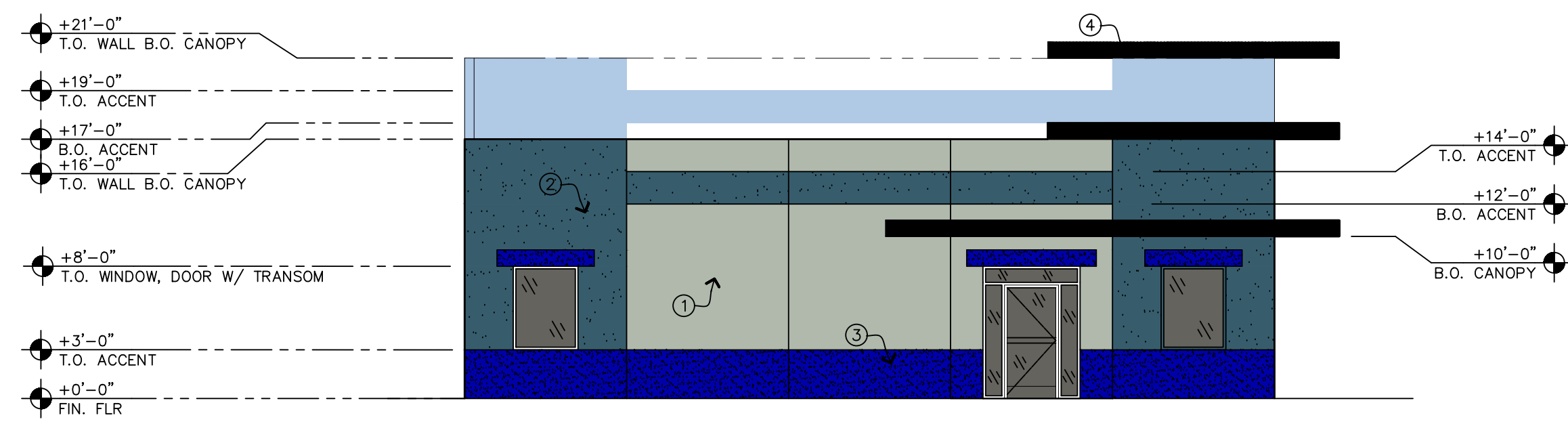


EXTERIOR ELEVATIONS
ARCHITECTURAL DRAWINGS

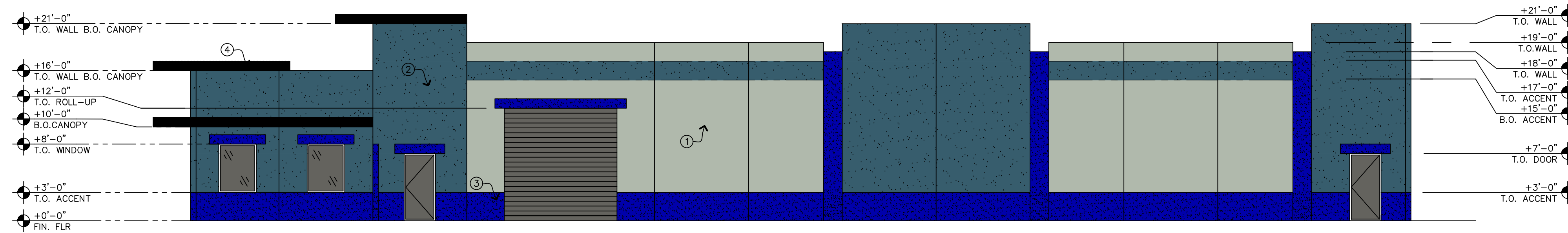
BY: XXXX DATE: XXXX

A-6

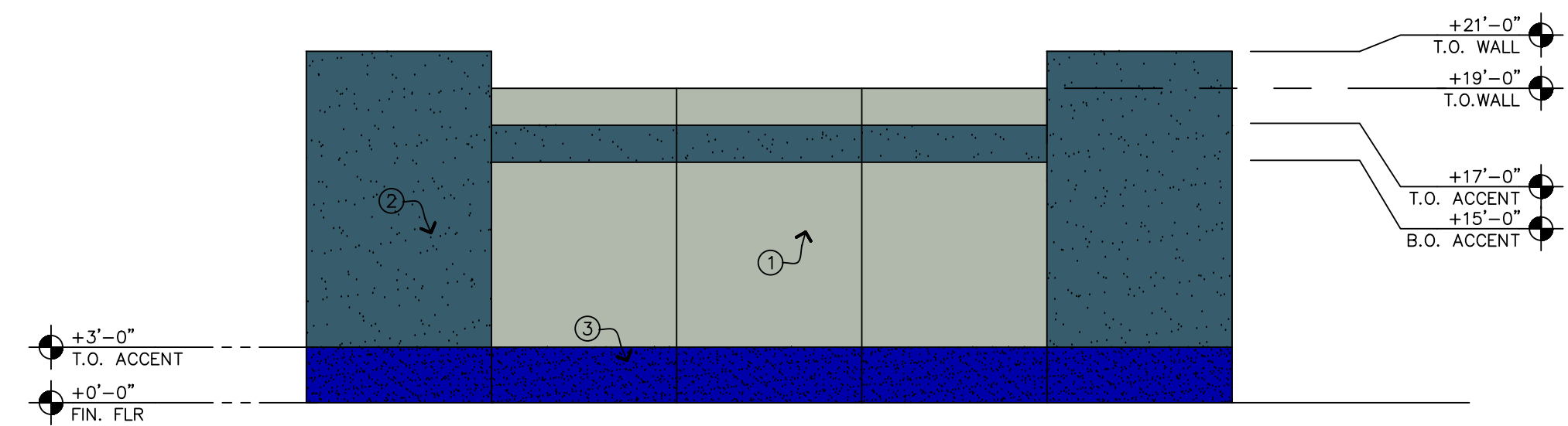
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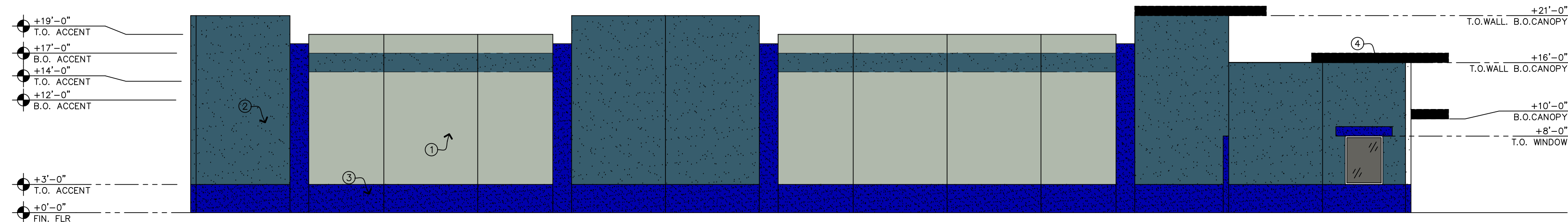
EAST ELEVATION BUILDING 4
SCALE: 1/8" = 1'-0" ①



NORTH ELEVATION BUILDING 4
SCALE: 1/8" = 1'-0" ①



WEST ELEVATION BUILDING 4
SCALE: 1/8" = 1'-0" ①



SOUTH ELEVATION BUILDING 4
SCALE: 1/8" = 1'-0" ①

COLOR SCHEDULE:

- ① BEHR - 730F 4M FLINT SMOKE
- ② BEHR - 730F 4M ADIRONDACK BLUE
- ③ VALSPAR - VR054A OCEAN RADIANCE
- ④ MCBI SIGNATURE 200 COAL BLACK

REVISIONS

NO.	DATE	DESCRIPTION

C.E.W Associates LLC
ARCHITECTURE, DESIGN

1908 N ROSEMONT MESA, AZ 85205
TELEPHONE (480) 243-7319 FAX (480) 497-4307
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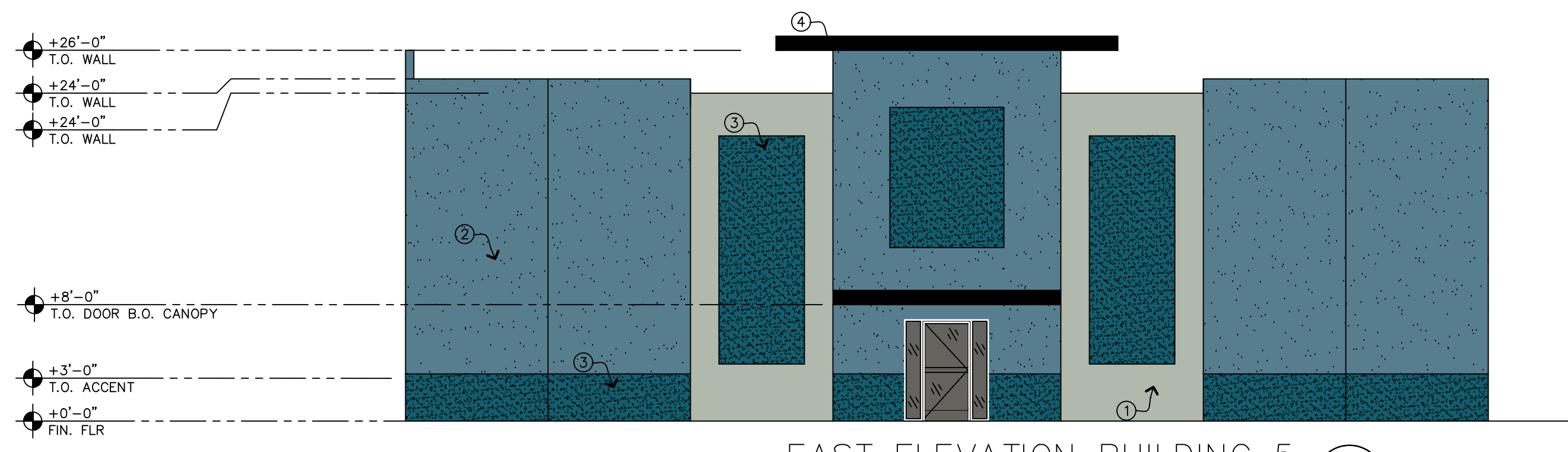


EXTERIOR ELEVATIONS
ARCHITECTURAL DRAWINGS

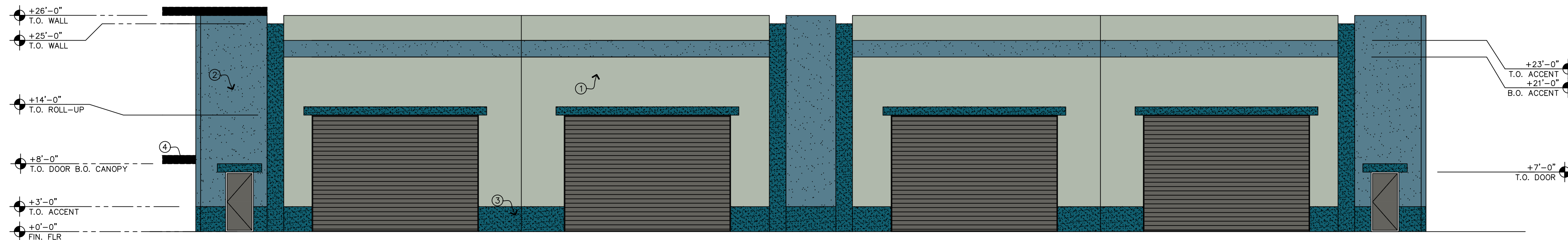
BY: XXXX DATE: XXXX

A-7

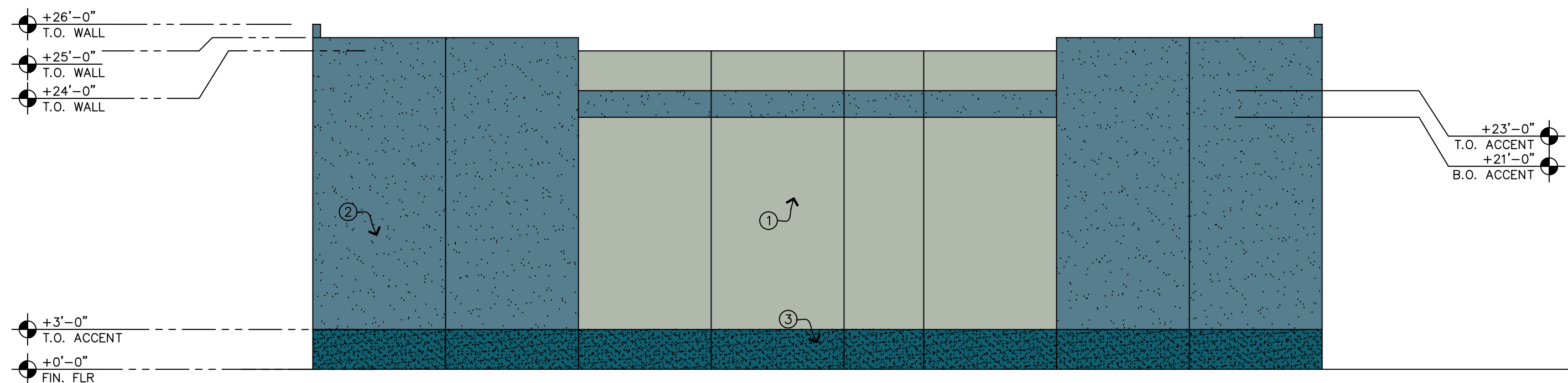
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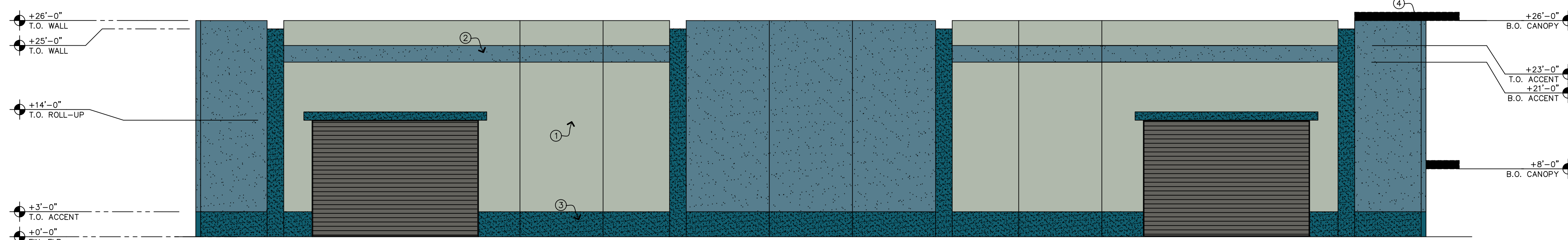
EAST ELEVATION BUILDING 5
SCALE: 1/8" = 1'-0" ①



NORTH ELEVATION BUILDING 5
SCALE: 1/8" = 1'-0" ①



WEST ELEVATION BUILDING 5
SCALE: 1/8" = 1'-0" ①



SOUTH ELEVATION BUILDING 5
SCALE: 1/8" = 1'-0" ①

COLOR SCHEDULE:

- ① BEHR – 730F 4M FLINT SMOKE
- ② BEHR – 730F 4M ADIRONDACK BLUE
- ③ VALSPAR – VR054A OCEAN RADIANCE
- ④ MCBI SIGNATURE 200 COAL BLACK

REVISIONS	DATE:

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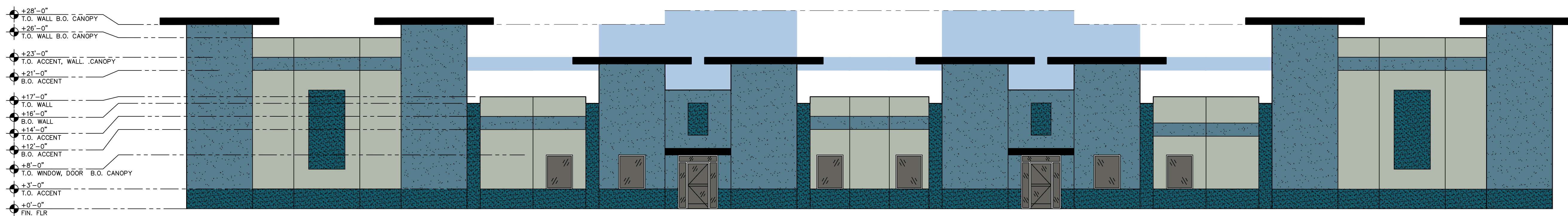


EXTERIOR ELEVATIONS
ARCHITECTURAL DRAWINGS

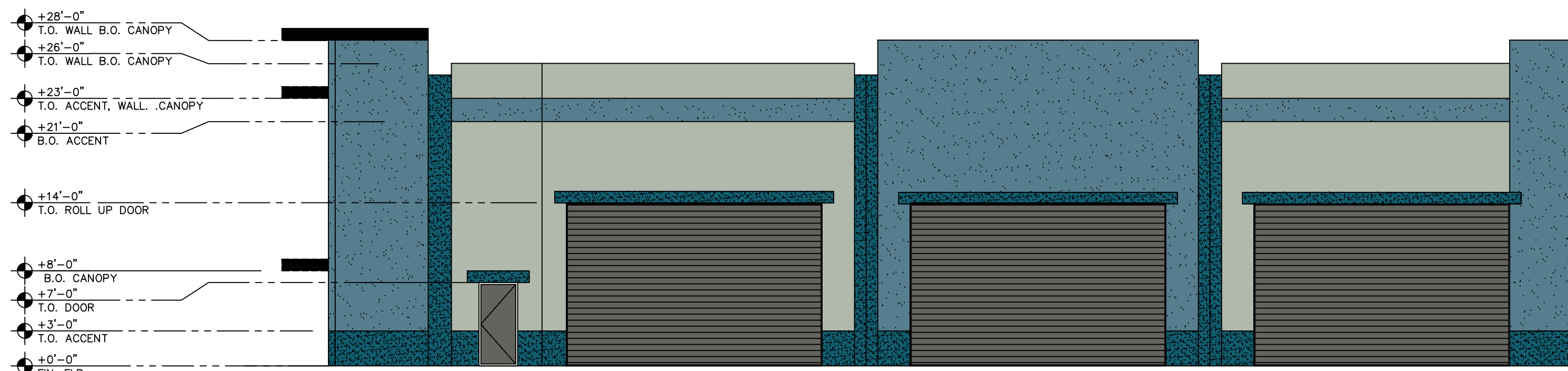
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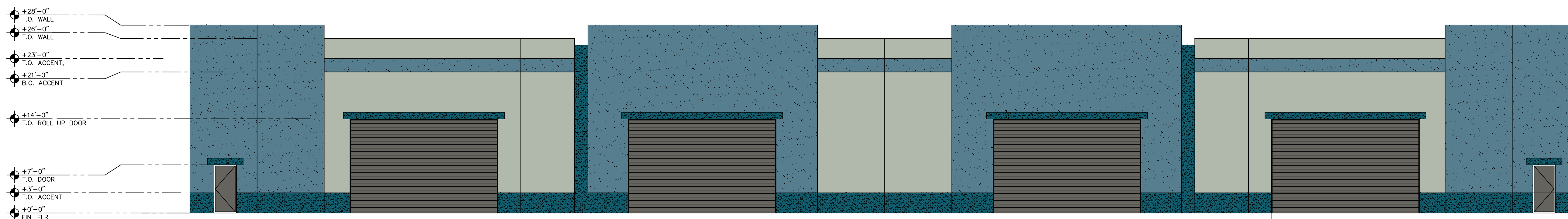
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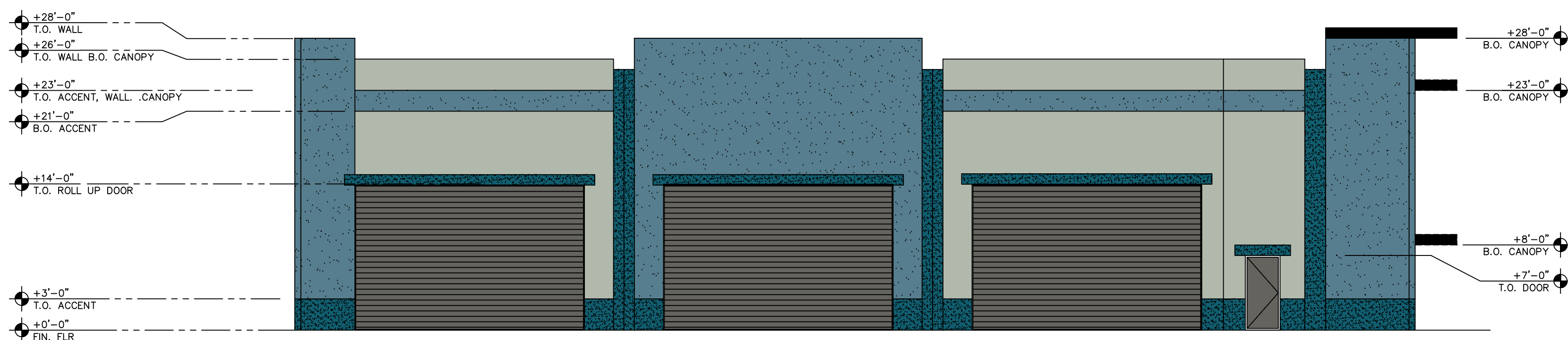
EAST ELEVATION BUILDING 6
SCALE: 1/8" = 1'-0" ①



NORTH ELEVATION BUILDING 6
SCALE: 1/8" = 1'-0" ①



WEST ELEVATION BUILDING 6
SCALE: 1/8" = 1'-0" ①



SOUTH ELEVATION BUILDING 6
SCALE: 1/8" = 1'-0" ①

COLOR SCHEDULE:

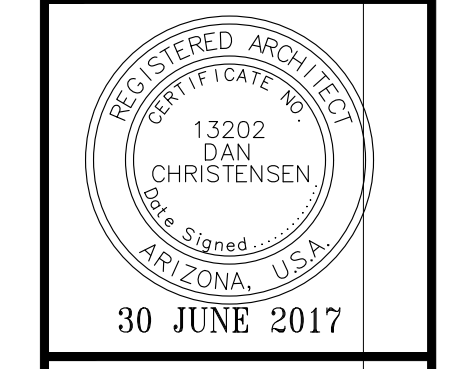
- ① BEHR - 730F 4M FLINT SMOKE
- ② BEHR - 730F 4M ADIRONDACK BLUE
- ③ VALSPAR - VR054A OCEAN RADIANCE
- ④ MCB SIGNATURE 200 COAL BLACK

REVISIONS	DATE:	DESCRIPTION:

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EXTERIOR ELEVATIONS
ARCHITECTURAL DRAWINGS

FILE NO.
A-9
X-XXX